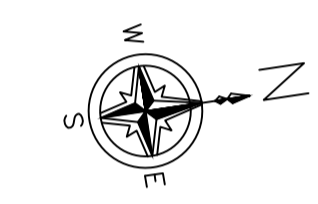


Internal Floor Area: 110 sq.meters this level only.



Construction Notes: All new electrics - allow for 3 no. counter height double sockets. Allow a PC Sum for undercounter units as shown. Allow for new floor covering to clients specification - Laminate or marmoleum.

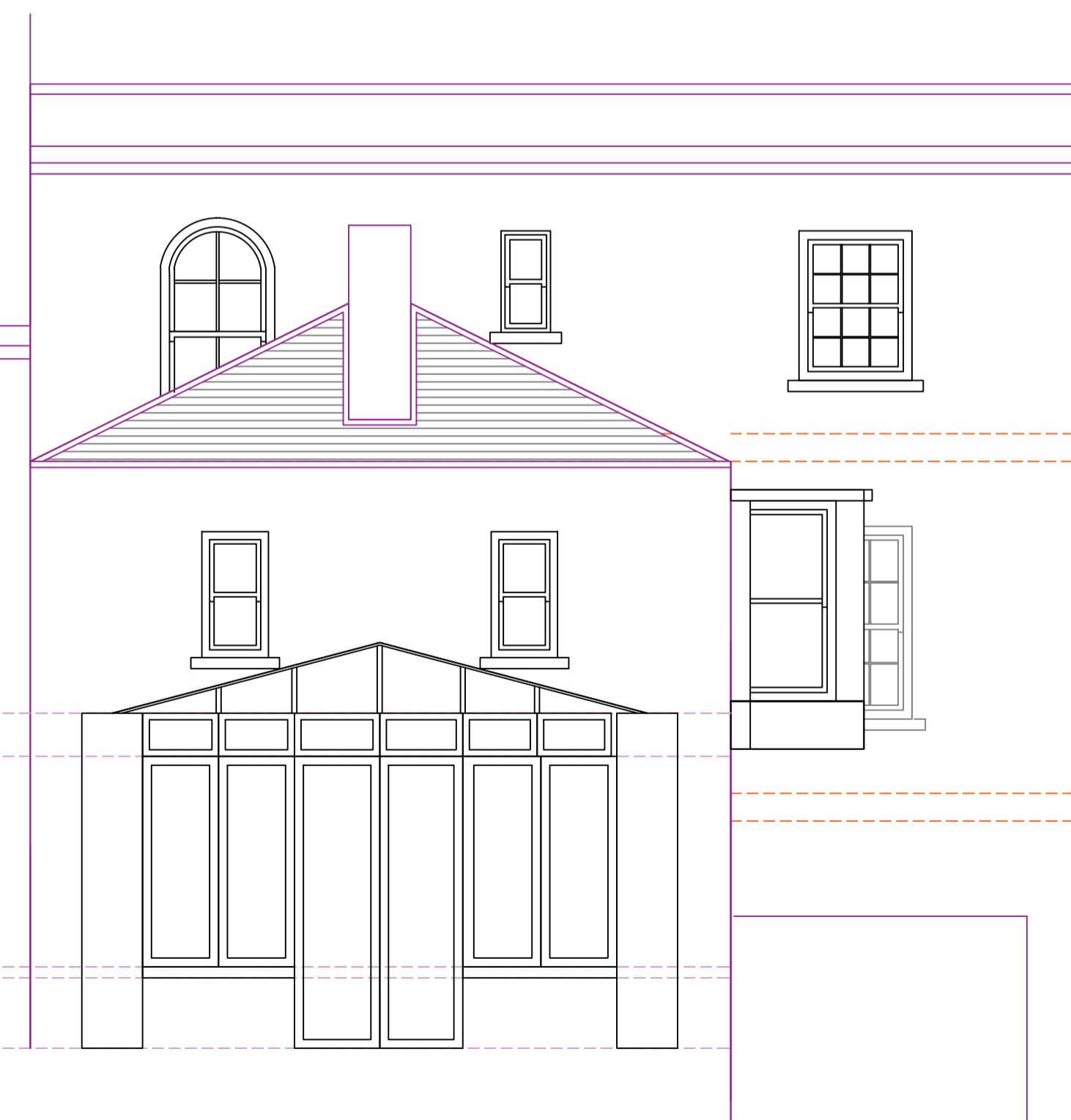
Construction Notes: In all of the area shown cross hatched in purple, lift the existing floors as per the spec below. Insulate between the joists, add a thin layer of marine ply and relay existing floors. Sand and Varnish finish.

Construction Notes: line the walls with a breathable cork and finish with Lime plaster - 3 coats (scratch coat, scud coat, finish coat) - to be added to the external walls of this room - to clients final selection, finished when dry with a breathable masonry paint only.

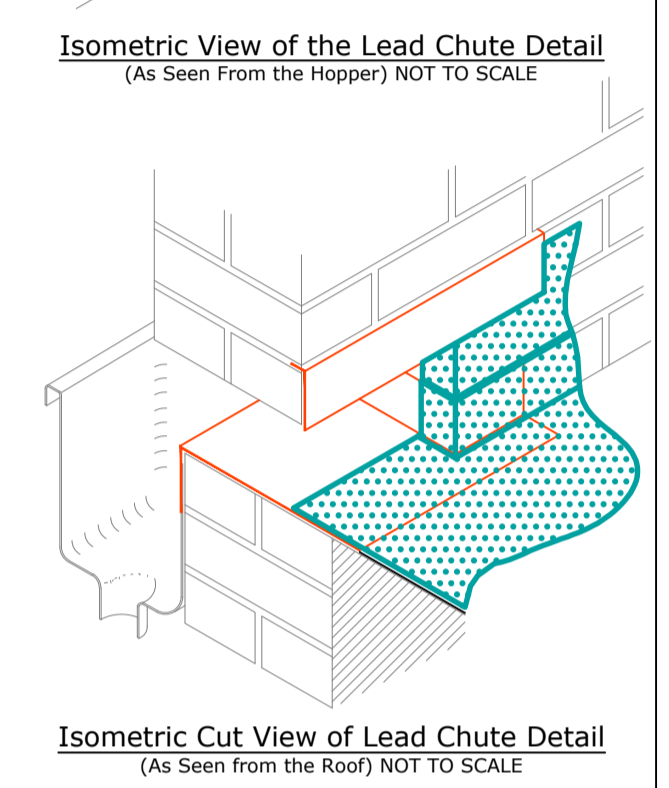
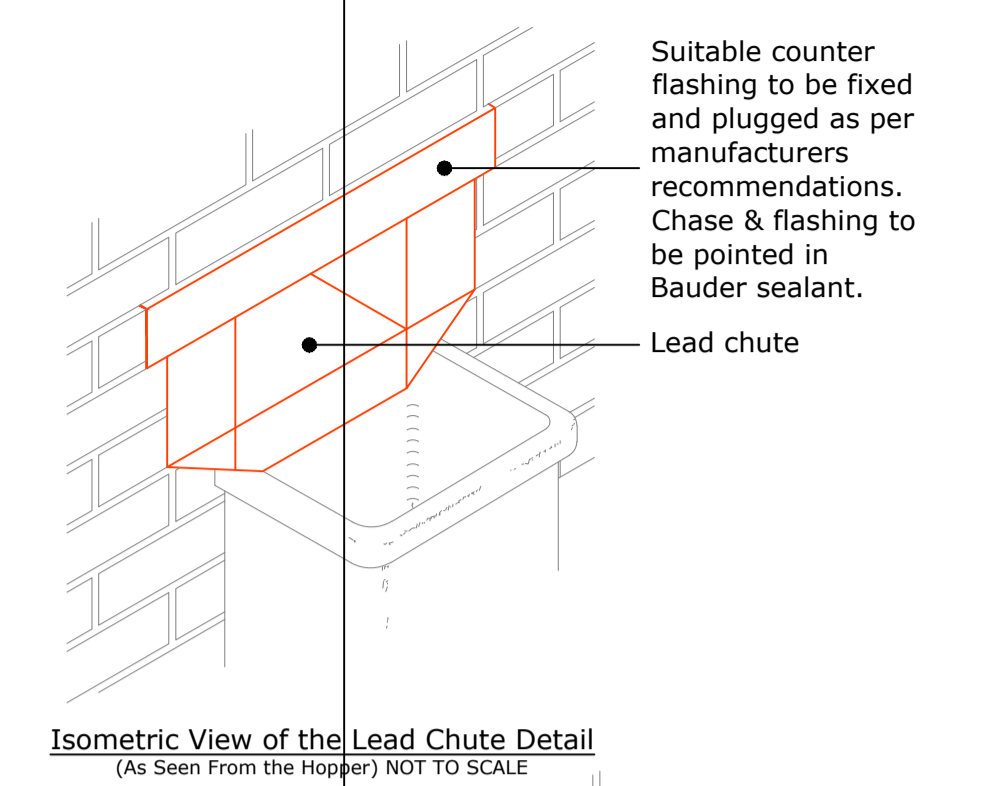
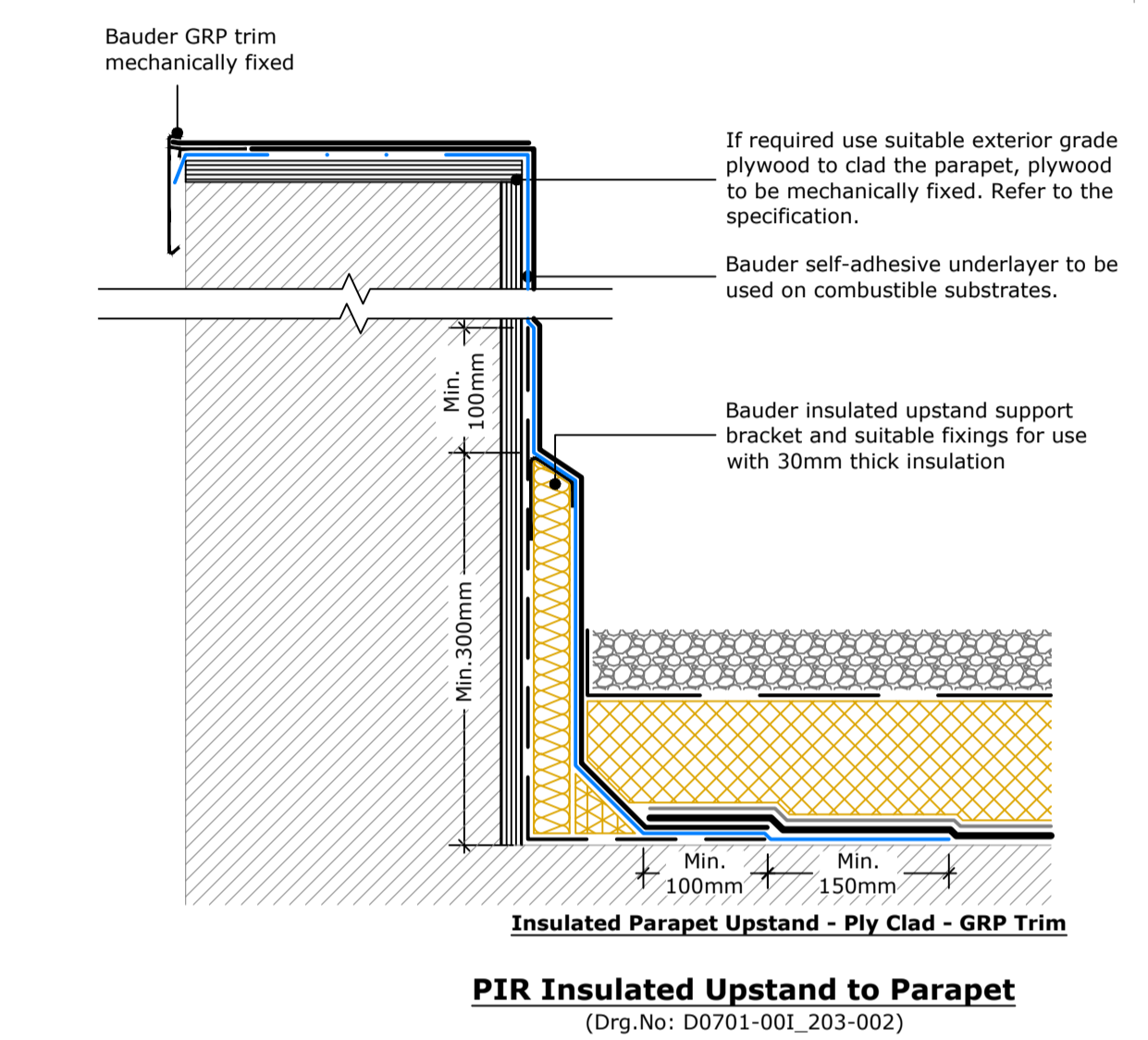
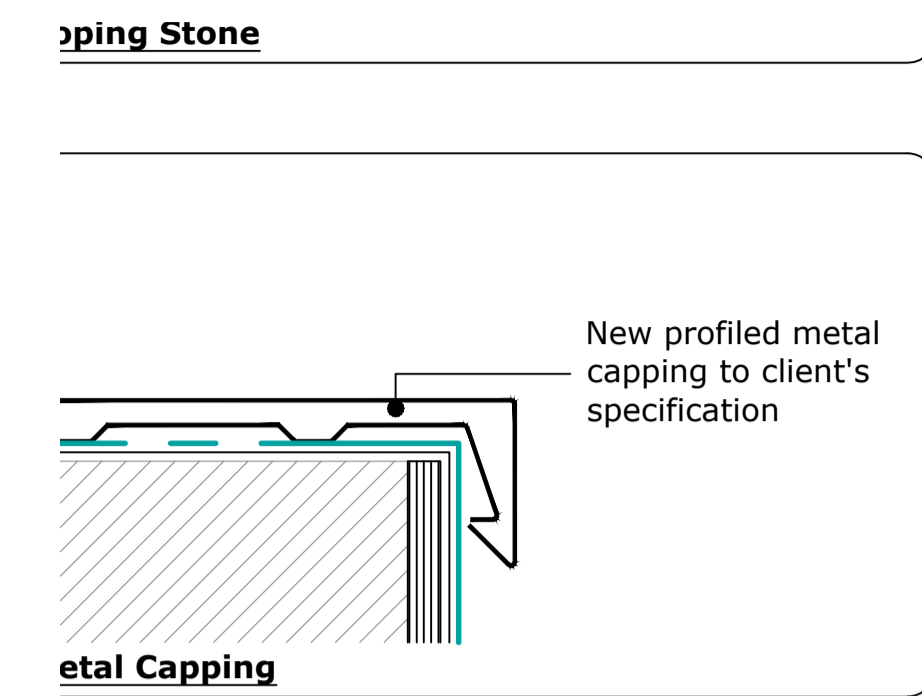
Construction Notes: Dismantle existing sun room and dispose of all components correctly. Dig out new foundation to Engineers later detail. to take 350 mm wall overhead. Excavate to take a new floor with 200 mm insulation, DMP ETC. WALL CONSTRUCTION: 100 mm outer block leaf, plastered with 3 no. plaster coats, painted finish. 100 mm full fill Kingspan rigid insulation to all cavities. 100 mm inner block wall. 92.5 mm Kingspan insulated plasterboard internally, skimmed and painted. NEW DOOR - Treble insulated contemporary commercial slider - Rational or equivalent. New insulated roof required to match existing line of sunroom. Supply and fit New 1500 mm x 3000 mm contemporary roof light, centered on the space below. Allow for PC sum for kitchen units, with regards electrics all for a cooker switch, high level extractor switch and socket, 5 no. double sockets (switched) above counter level, 2 no. double switched wall sockets, 2 way light switch, light overhead external sliding door, water connection in the new floor buildup and an external tap located on the side wall. Remove existing paving slabs externally, insert French drain and relay paving slabs (New if desired by client) not to exceed the height of the French drain. Take french drain to new soakaway located in the garden, location to be agreed with client. Lift floor in the Family room, treat all joists by spraying for wet and dry rot, insert netting or metal straps to base of joists and insert rigid insulation 200 mm deep - Kingspan rigid insulation. lay a thin layer of marine grade ply over the joists, relay the existing floor boards. Carry out this step also in the hallway. Possible insertion of new door at start of hallway to prevent heat loss, insulate floor over hallway and also bedroom floor over family room using the same method to reduce heat loss. Use all breathable points. Use a vented skirting detail to allow for minor air flow behind the insulated board in the existing family room. Insert new flu liner to take a stove insert. Client to select and advise if a 4 inch air duct take is required. Sand and varnish all timber floors. Radiator position in Family room and future Kitchen to clients desired location, pending furniture selection.



Rear Elevation - PROPOSED



Rear Elevation - existing



REVISION	DATE	DETAILS	DRAWN
DRAWING STATUS			
PRE CONSTRUCTION			
DRAWING COPYRIGHT - COB ARCHITECT FIGURED DIMENSIONS ONLY TO BE USED DO NOT SCALE FROM DRAWING			
Catherine O' Brien architect The Red Church, Henry Street, Limerick Phone: 353-87-608807 E-mail:			
CLIENT			
PAURIC & CLARA MARRAY HOUSE AT MICHAEL STREET			
PROJECT TITLE			
TIPPERARY TOWN PROPOSED DRAWINGS			
DRAWING TITLE			
SCALE AS SHOWN PROPOSED LAYOUTS 1/50			
DRAWN	CHK	PASS	REVISION
COB	COB		
DATE	SCALE		
01052022	1/50		
PROJECT NUMBER	DRAWING NUMBER		
20011	T01		