



**EXISTING FRONT ELEVATION (S)**  
scale 1:75 @ A3



**EXISTING REAR ELEVATION (N)**  
scale 1:75 @ A3

**Client**  
Ciara McGowan and  
Margaret Holland  
80 Bushy Park Road,  
Dublin 6

**Revisions**



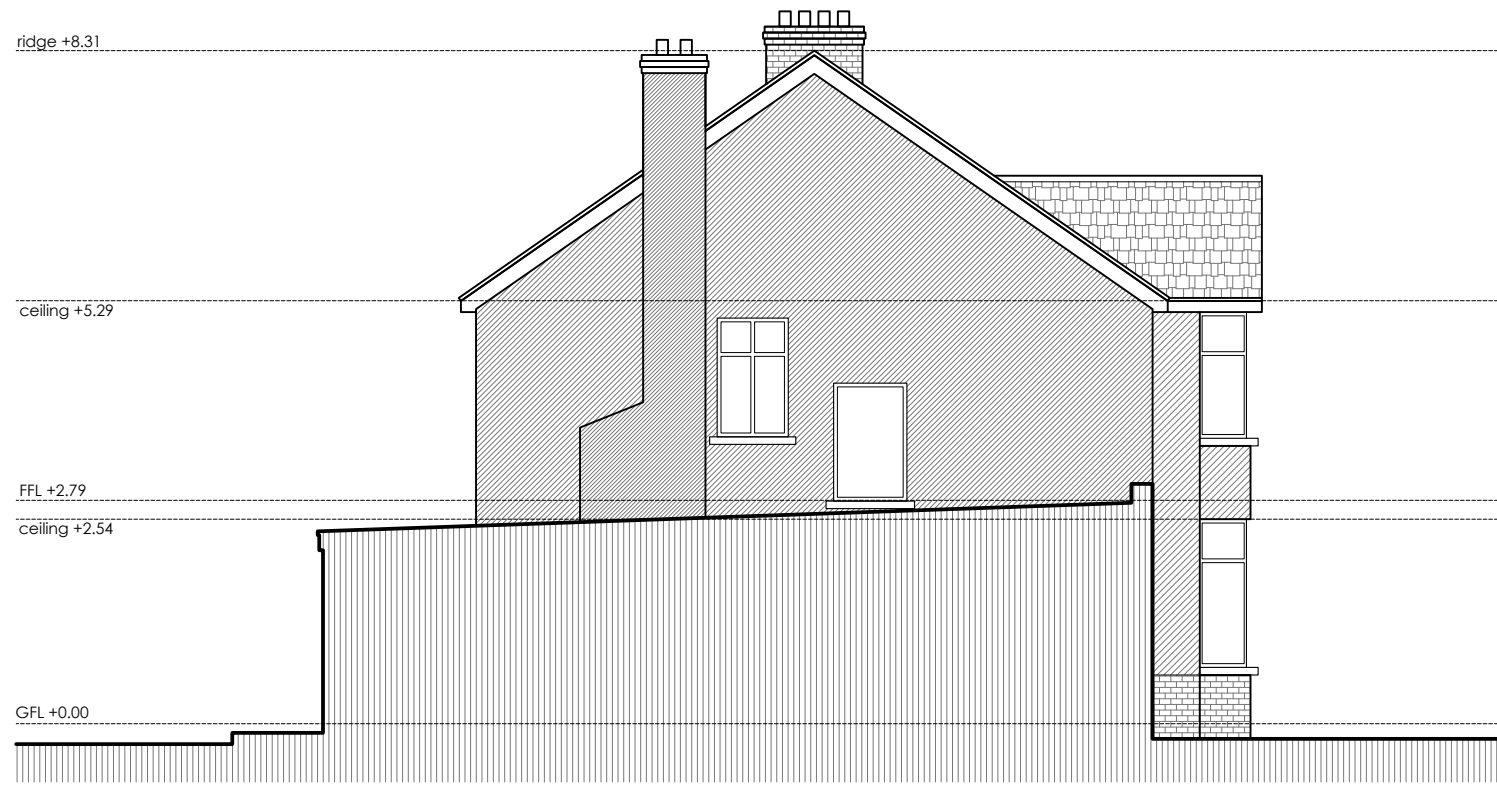
Chartered Institute of  
Architectural Technologists

STATUS OF DRAWING  
pricing

**notes**

<b>JOE FALLON DESIGN</b> ARCHITECTURE		First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
<b>project</b>	extension at 80 Bushy Park Road		<b>dwg no.</b> 22046 - DN-01	
<b>drawing</b>	elevations			
<b>job no.</b> 22046	<b>scale</b> as shown	<b>date</b> 15.12.22	<b>drawn by</b> LK	<b>stage</b> pricing
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1				

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**EXISTING SIDE ELEVATION (W)**  
scale 1:100 @ A3



**EXISTING SIDE ELEVATION (E)**  
scale 1:100 @ A3

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Ciara McGowan and  
Margaret Holland  
80 Bushy Park Road,  
Dublin 6

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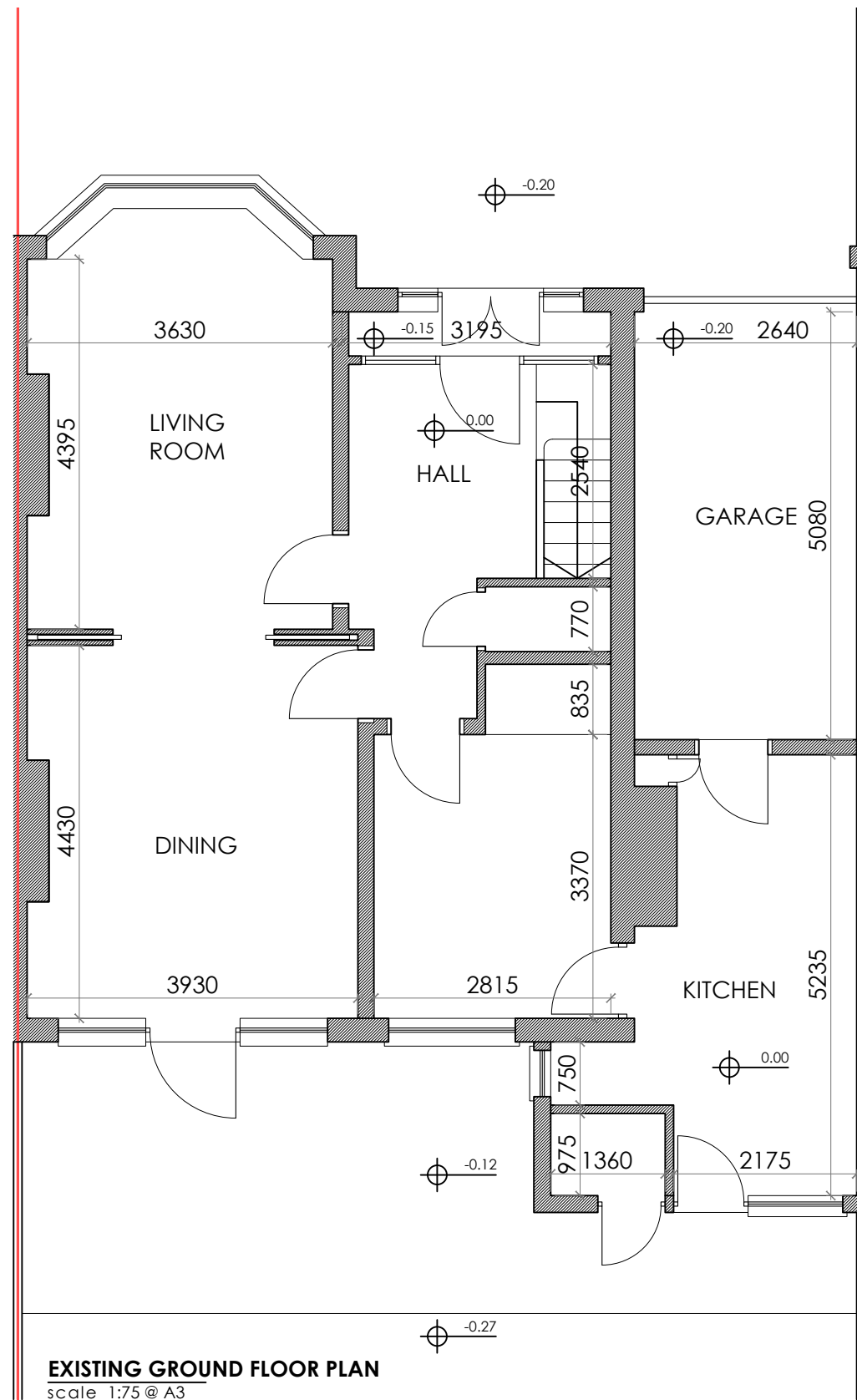
STATUS OF DRAWING

pricing

notes

<b>JOE FALLON DESIGN</b> ARCHITECTURE		First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
<b>project</b>	extension at 80 Bushy Park Road		<b>dwg no.</b> 22046 - DN-02	
<b>drawing</b>	elevations			
<b>job no.</b> 22046	<b>scale</b> as shown	<b>date</b> 15.12.22	<b>drawn by</b> LK	<b>stage</b> pricing
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Ciara McGowan and  
Margaret Holland  
80 Bushy Park Road,  
Dublin 6

**Revisions**



STATUS OF DRAWING

pricing

**notes**

**JOE FALLON** DESIGN  
ARCHITECTURE

First Floor, 6 Main Street, Dundrum, Dublin 14  
1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford

P: 01-5143688  
M: 087-2566808  
P: 053-9377633

**A3**

**project** extension at 80 Bushy Park Road

**drawing** plans

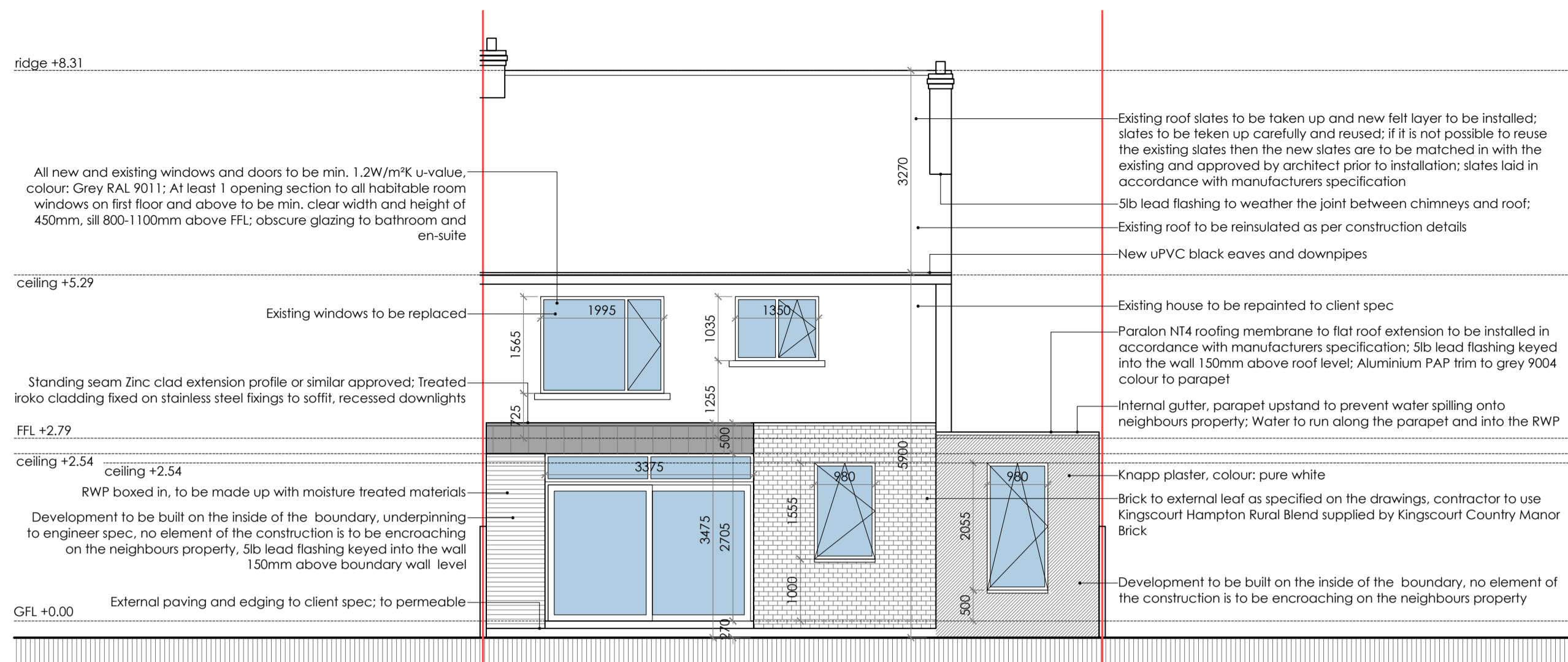
**dwg no.** 22046 - DN-03

**job no.** 22046 **scale** as shown **date** 15.12.22 **drawn by** LK **stage** pricing

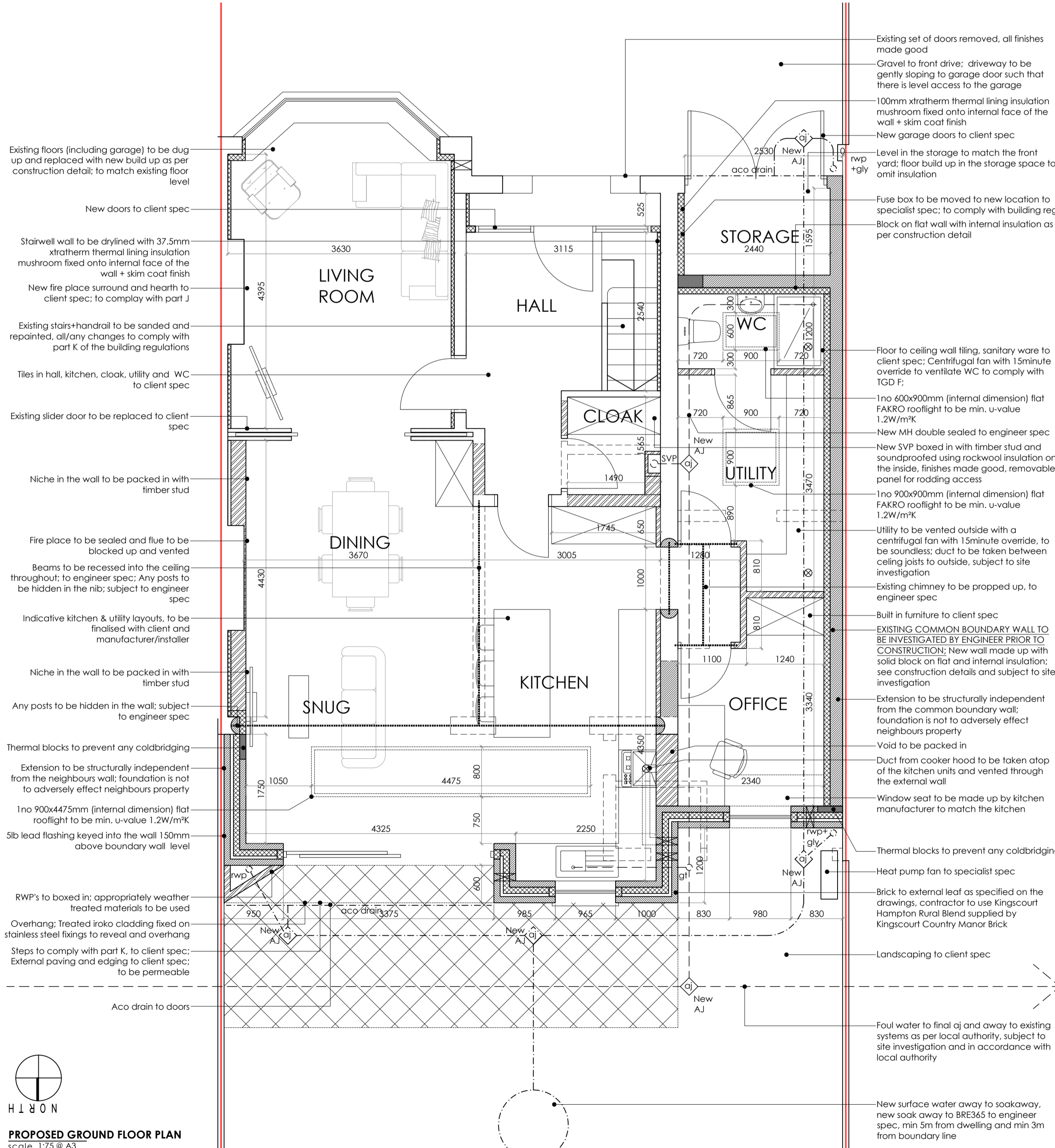
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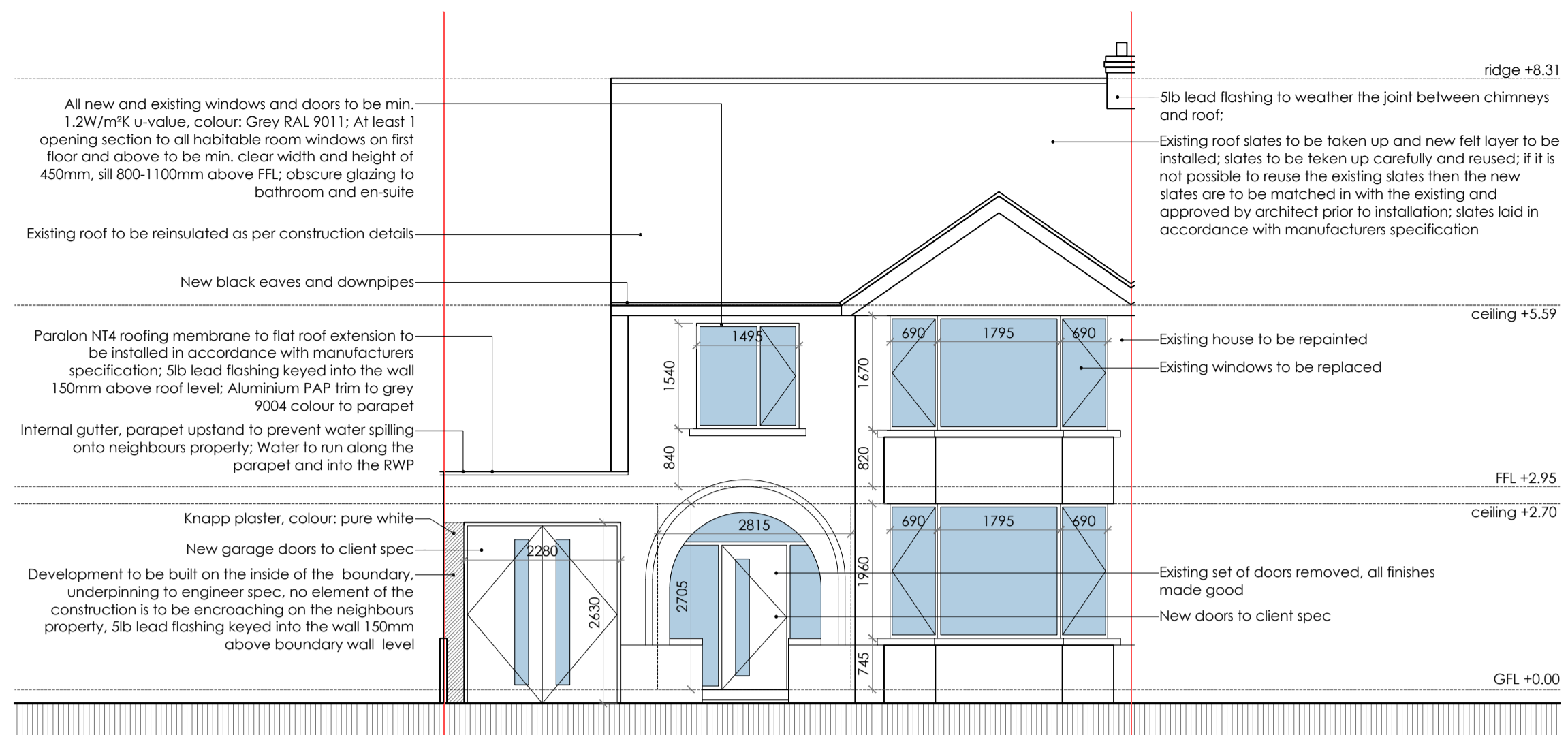




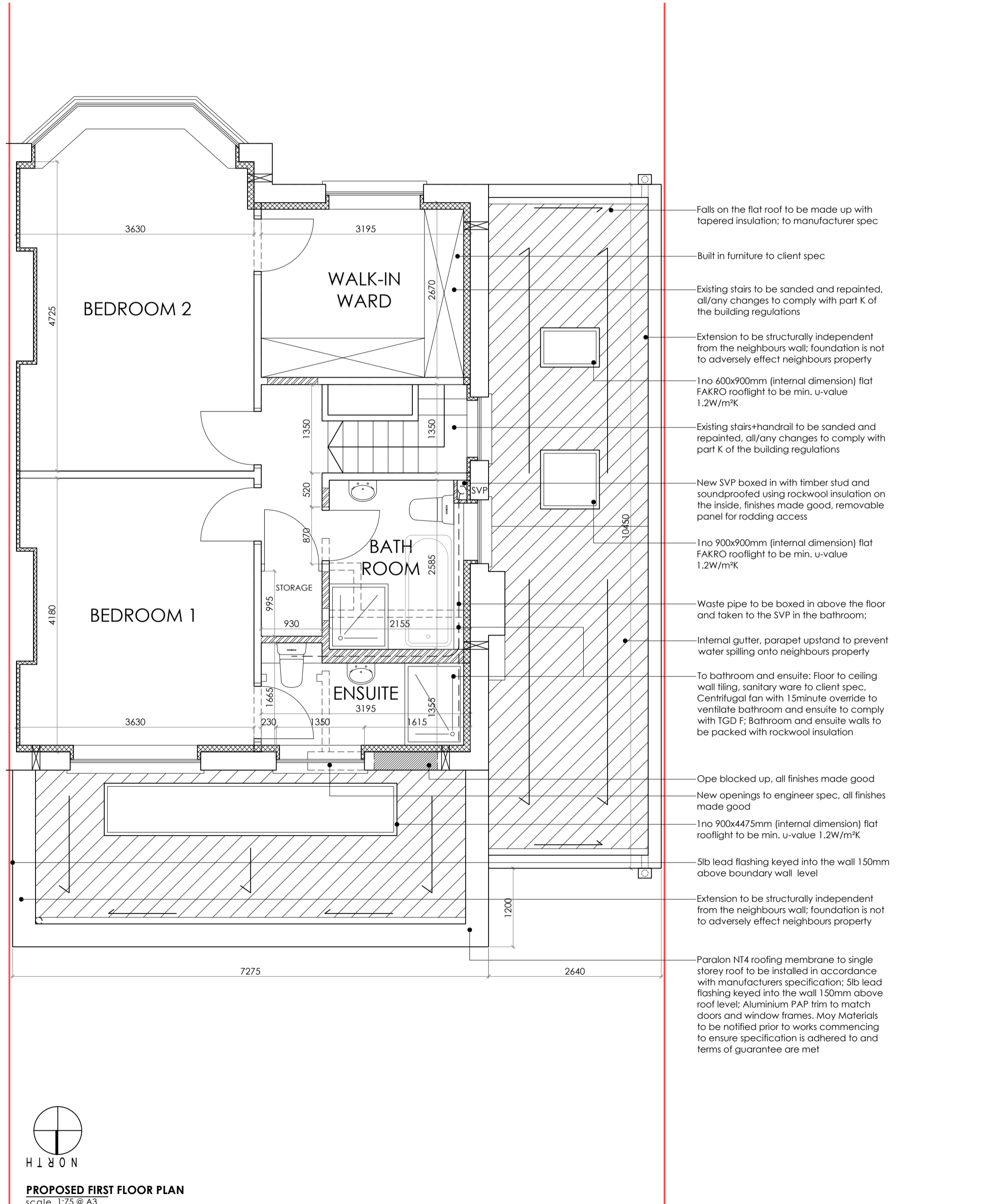
**PROPOSED REAR ELEVATION (N)**  
scale 1:75 @ A3



**PROPOSED GROUND FLOOR PLAN**  
scale 1:75 @ A3



**PROPOSED FRONT ELEVATION (S)**  
scale 1:75 @ A3



**PROPOSED FIRST FLOOR PLAN**  
scale 1:75 @ A3

All drainage to be confirmed on site, all drainage, both new and existing, to be specified and inspected by engineer

All existing structure to be inspected by the engineer, any additions or alterations to be specified by the engineer; all steel beams and the associated bearings to engineer spec; Breakout ope to rear of house and support to engineer spec, shown thus, steel beams recessed into ceilings to create a continuous ceilings

New works hatched

Every room is to be installed with a passive vent if one is not already present; to comply with TGD F

Existing external walls to be drylined with 100mm xtratherm thermal lining insulation mushroom fixed onto internal face of the wall + skim coat finish, 37.5mm to reveals; party wall to be drylined with 37.5mm xtratherm thermal lining insulation mushroom fixed onto internal face of the wall + skim coat finish

House to be rewired, wiring to specialist spec; to comply with building regs; Fuse box to be moved to new location to specialist spec; to comply with building regs

House to be replumbed, plumbing to specialist spec; to comply with building regs

Heat pump to specialist spec

Kitchen, utility units & white goods to clients specification; All sanitary ware, furniture & fittings to clients specification

Development to be built on the inside of the boundary, line of the boundary to be confirmed prior to construction by contractor, underpinning to engineer's specification, no element of the construction to be encroaching on the neighbour's property.

All drawings to be read in conjunction with engineers specification and details

All construction work to comply with the current building regulations and all other relevant compliance and specifications, compliance of such to be the responsibility of the building contractor on site or client prior to commencement of construction

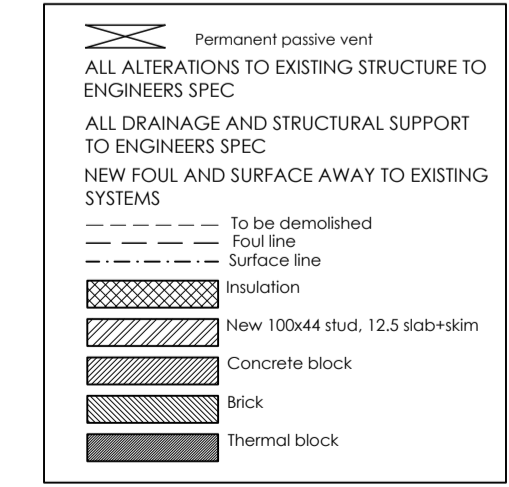
Roof, windows, gas and engineer carts to be made available to architect after completion

All floor, wall and ceiling finishes to clients specification; All interior finishes and fittings to client spec throughout; Internal doors, architraves and skirting to client spec

Seamless finishes between old and new throughout; all finishes made good

House to be replumbed and re wired

All new and existing windows and doors to be min. 1.2W/m<sup>2</sup>K u-value, colour: Grey RAL 9011; At least 1 opening section to all habitable room windows on first floor and above to be min. clear width and height of 450mm, sill 800-1100mm above FFL; obscure glazing to bathroom and en-suite



<b>client</b> Clara McGowan and Margaret Holland 80 Bushy Park Road, Dublin 6	<b>revisions</b> A.
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STATUS OF DRAWING pricing
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<b>JOE FALLON DESIGN</b> ARCHITECTURE 1A Ryland Street, Buncloy, Enniscorthy, Co. Wexford	First Floor, 6 Main Street, Dundrum, Dublin 14 P: 01-5142688 M: 087-2546808 P: 053-9377633	<b>A1</b>
<b>project</b> extension at 80 Bushy Park Road	<b>dwg no.</b> 22046 - DN-04	
<b>drawing</b> plans + elevations	<b>job no.</b> 22046	<b>scale</b> as shown
<b>date</b> 15.12.22	<b>drawn by</b> LK	<b>stage</b> pricing
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER, REG NO. 80244 SC51		





ridge +8.31

All new and existing windows and doors to be min. 1.2W/m²K u-value, colour: Grey RAL 9011; At least 1 opening section to all habitable room windows on first floor and above to be min. clear width and height of 450mm, sill 800-1100mm above FFL; obscure glazing to bathroom and en-suite

5lb lead flashing to weather the joint between chimneys and roof;  
Existing house to be repainted to client spec  
Existing roof to be reinsulated as per construction details  
New uPVC black eaves and downpipes

ceiling +5.29

Knapp plaster, colour: pure white  
Paralon NT4 roofing membrane to flat roof extension to be installed in accordance with manufacturers specification; 5lb lead flashing keyed into the wall 150mm above roof level; Aluminium PAP trim to grey 9004 colour to parapet

Internal gutter, parapet upstand to prevent water spilling onto neighbours property; Water to run along the parapet and into the RWP

FFL +2.79

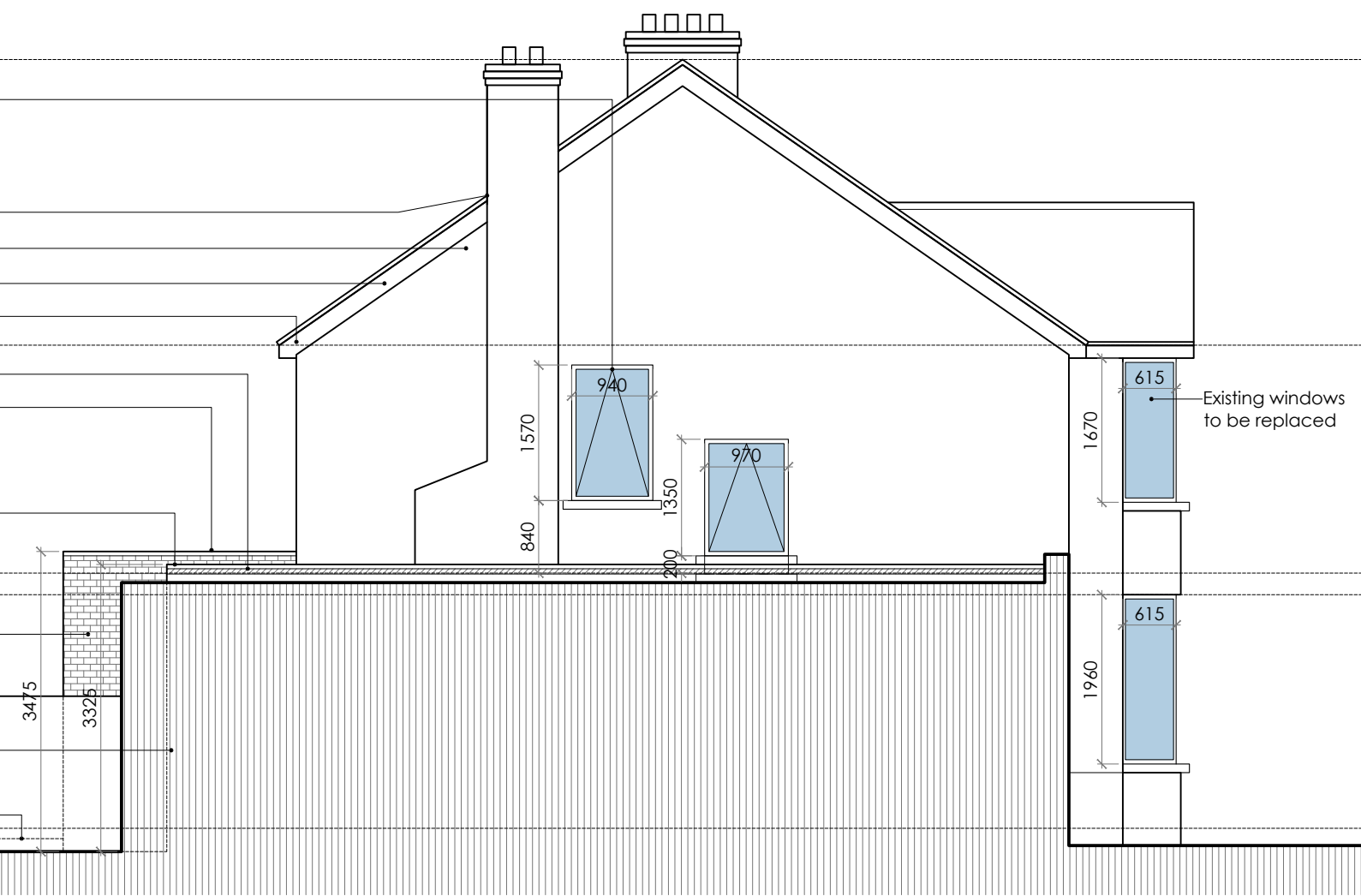
ceiling +2.54

Brick to external leaf as specified on the drawings, contractor to use Kingscourt Hampton Rural Blend supplied by Kingscourt Country Manor Brick  
**BOUNDARY WALL**

Development to be built on the inside of the boundary, no element of the construction is to be encroaching on the neighbours property

GFL +0.00

External paving and edging to client spec; to permeable



**PROPOSED SIDE ELEVATION (W)**

scale 1:75 @ A3

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80 Bushy Park Road, Dublin 6

**Revisions**



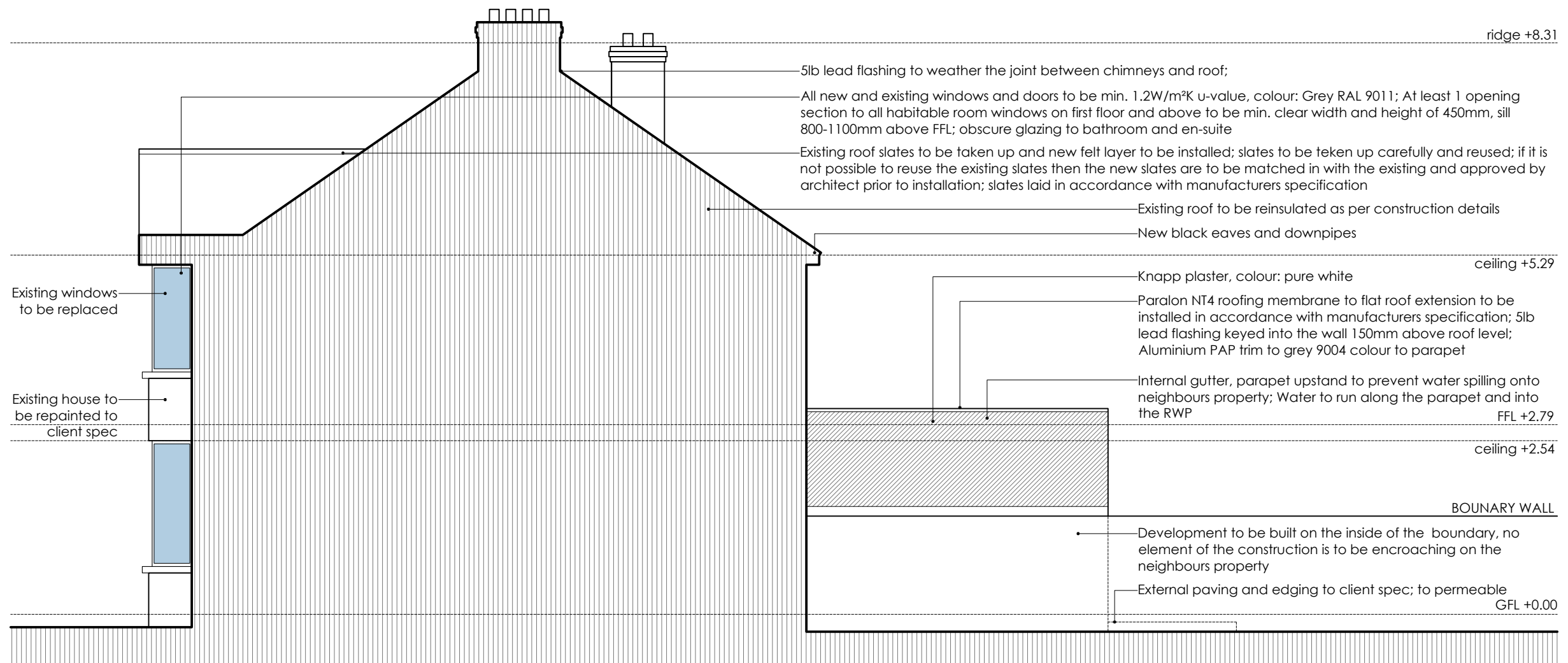
Chartered Institute of Architectural Technologists

STATUS OF DRAWING  
pricing

**notes**

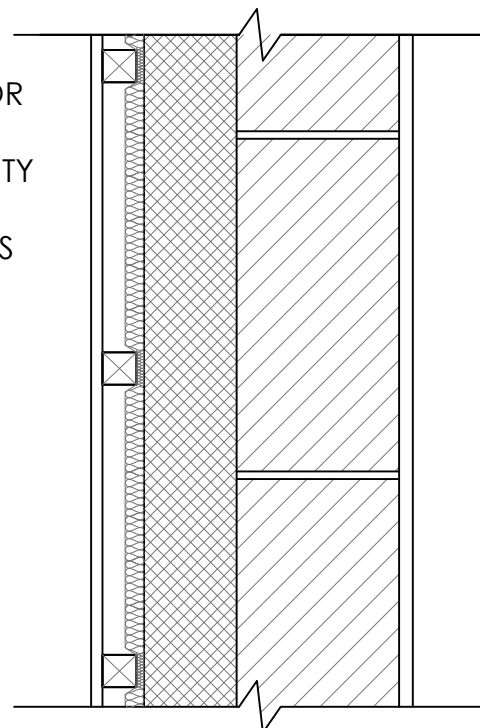
<b>JOE FALLON</b> ARCHITECTURE	First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
<b>project</b>	extension at 80 Bushy Park Road	<b>dwg no.</b> 22046 - DN-05	
<b>drawing</b>	elevation		
<b>job no.</b> 22046	<b>scale</b> as shown	<b>date</b> 15.12.22	<b>drawn by</b> LK <b>stage</b> pricing
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSi			

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**PROPOSED SIDE ELEVATION (E)**  
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CONTRACTOR TO USE LOW CONDUCTIVITY MUSHROOM HEAD FIXINGS



18mm EXTERNAL RENDER TO  
215mm 7NEWTON CONCRETE BLOCK ON THE FLAT,  
120mm XTRATHERM XT/TL-MF INSULATION,  
INTELLO AIRTIGHT MEMBRANE WITH TESCON TAPE,  
25MM MINERAL WOOL QUILT(MIN. DENSITY 10kg/m<sup>3</sup>),  
45X45 BATTENS @ 400 CRS FIXED TO WALL(QUILT COMPRESSED SO THAT BATTENS REMAIN ISOLATED FROM WALL)  
12.5mm GYPSUM PLASTERBOARD AND 3mm SCIM.

**Solid block on flat with internal insulation**  
**1:10**

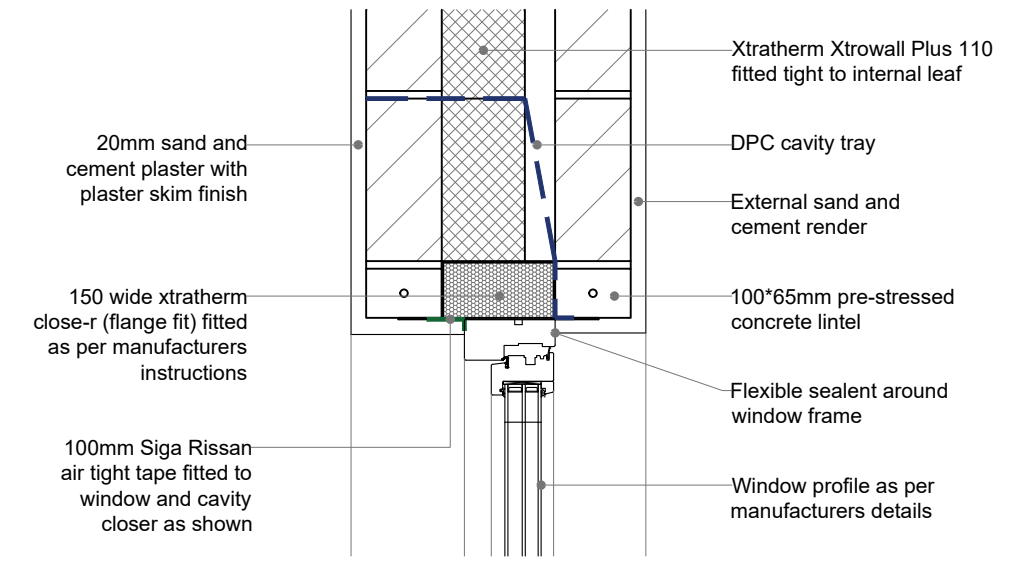
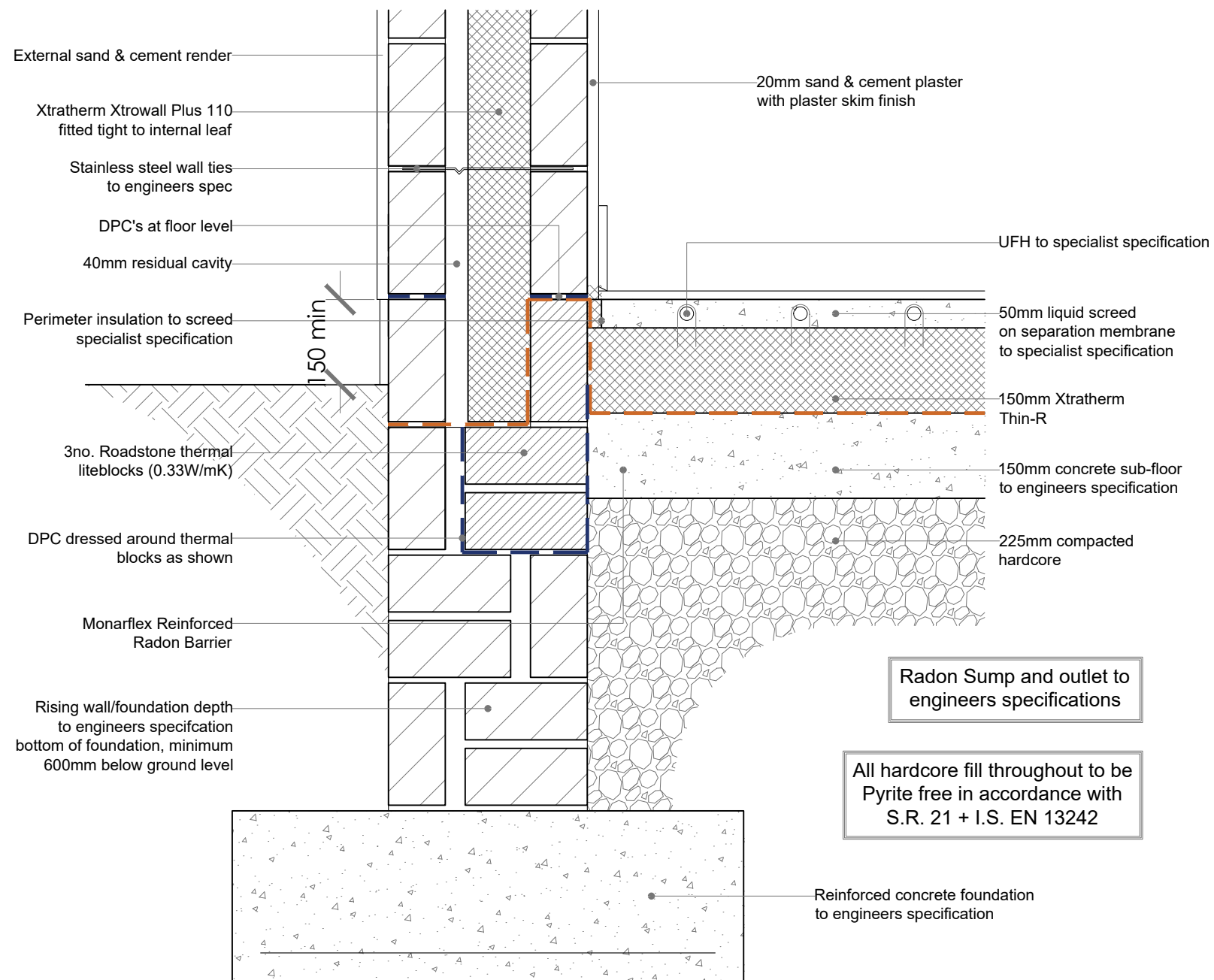
<b>Client</b> Ciara McGowan and Margaret Holland 80 Bushy Park Road, Dublin 6	<b>Revisions</b>	
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STATUS OF DRAWING  
pricing

notes

<b>JOE FALLON DESIGN</b> ARCHITECTURE	First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
<b>project</b> extension at 80 Bushy Park Road	<b>dwg no.</b> 22046 - DN-06		
<b>drawing</b> elevation	<b>job no.</b> 22046	<b>scale</b> as shown	<b>date</b> 15.12.22
<b>drawn by</b> LK	<b>stage</b> pricing		
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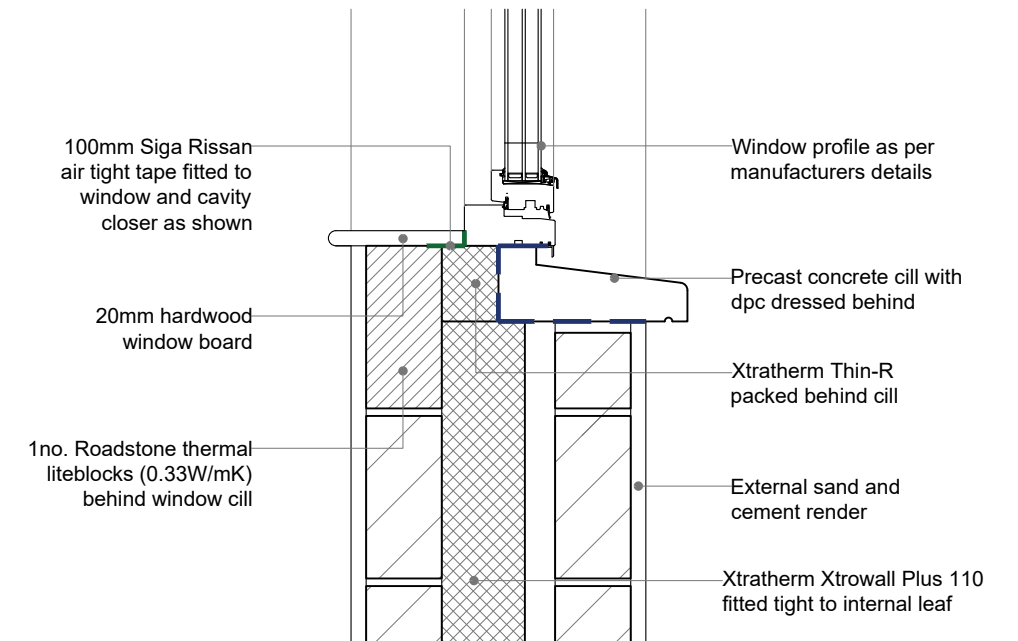
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Air-tight foam to be used to fill gaps around windows/doors when fitted with no staining to window internally or externally


Stainless steel wall ties around window/door openings to engineers specification

Engineer to specify concrete or keystone lintels depending on span



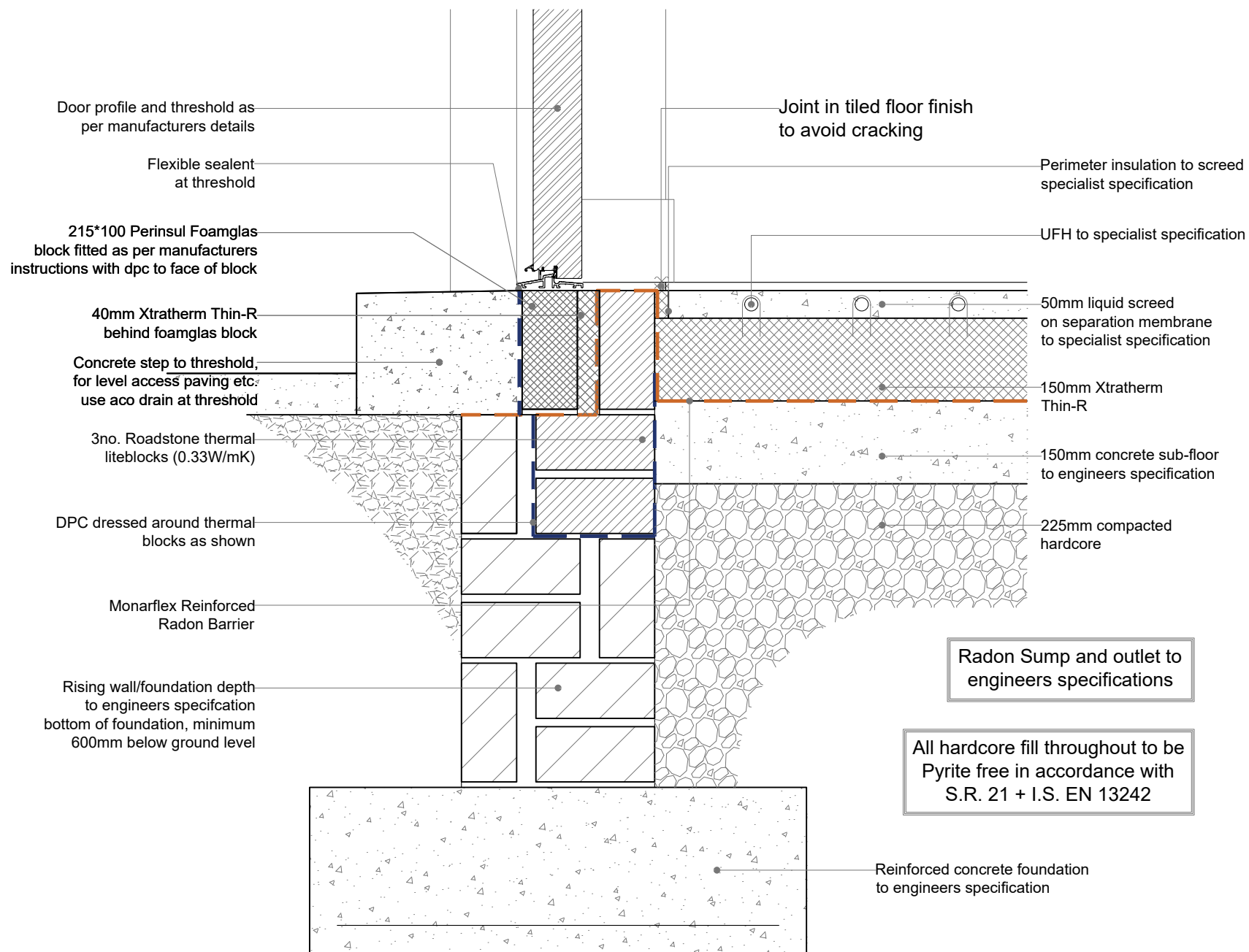
## External Wall / Floor Junction- Insulation above Floor Slab.

## Window Cill & Head Details

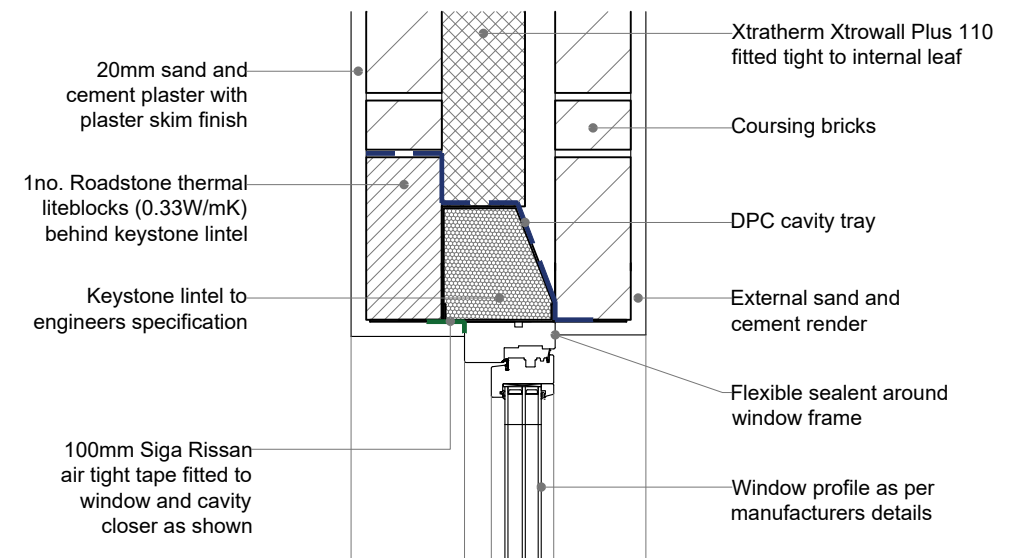
<b>Client</b> Ciara McGowan and Margaret Holland 80 Bushy Park Road, Dublin 6	<b>Revisions</b>  	STATUS OF DRAWING <div style="border: 1px solid black; padding: 5px; text-align: center;">pricing</div>	<b>JOE FALLON DESIGN</b> ARCHITECTURE First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
			<b>project</b> extension at 80 Bushy Park Road <b>drawing</b> preliminary construction details	<b>dwg no.</b> 22046 - DN-07	
<b>job no.</b> 22046 <b>scale</b> 1:10 <b>date</b> 15.12.22 <b>drawn by</b> LK <b>stage</b> pricing			UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSi		

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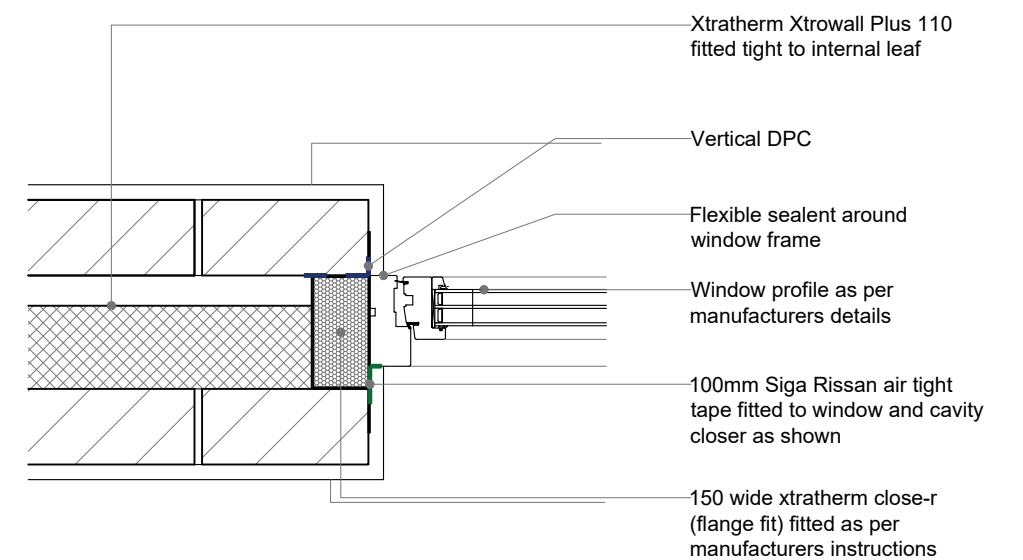
**Threshold Detail- Insulation above Floor Slab.**




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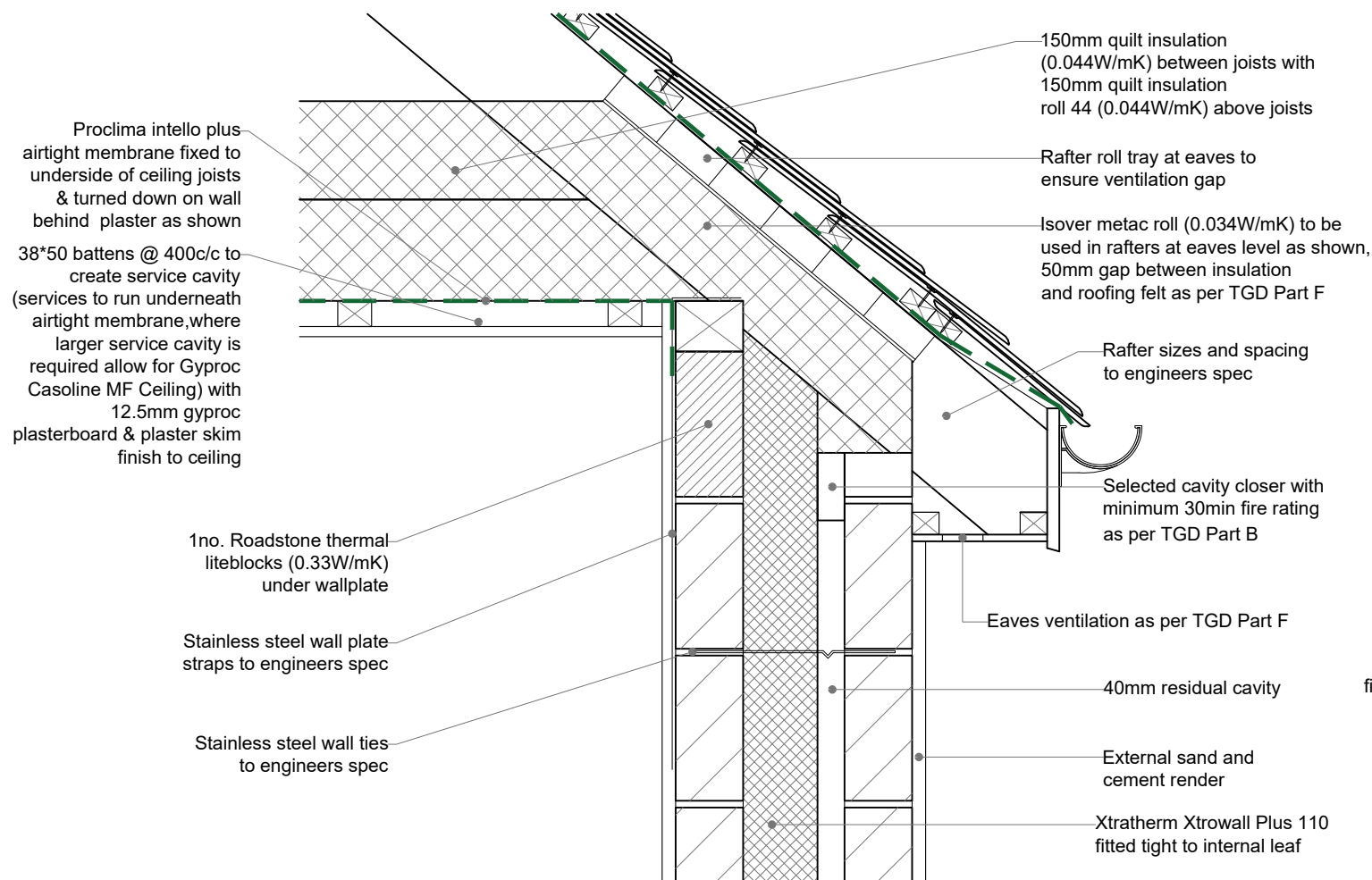
**Window Jamb & Head Details**

<p><b>Client</b></p> <p>Ciara McGowan and Margaret Holland 80 Bushy Park Road, Dublin 6</p>	<p><b>Revisions</b></p> 	<p>STATUS OF DRAWING</p> <p>pricing</p> <p>notes</p>	<p><b>JOE FALLON DESIGN ARCHITECTURE</b> First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford</p> <p>P: 01-5143688 M: 087-2566808 P: 053-9377633</p> <p><b>project</b> extension at 80 Bushy Park Road</p> <p><b>drawing</b> preliminary construction details</p> <p><b>job no.</b> 22046 <b>scale</b> 1:10 <b>date</b> 15.12.22 <b>drawn by</b> LK <b>stage</b> pricing</p> <p><b>dwg no.</b> 22046 - DN-08</p> <p>UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1</p>
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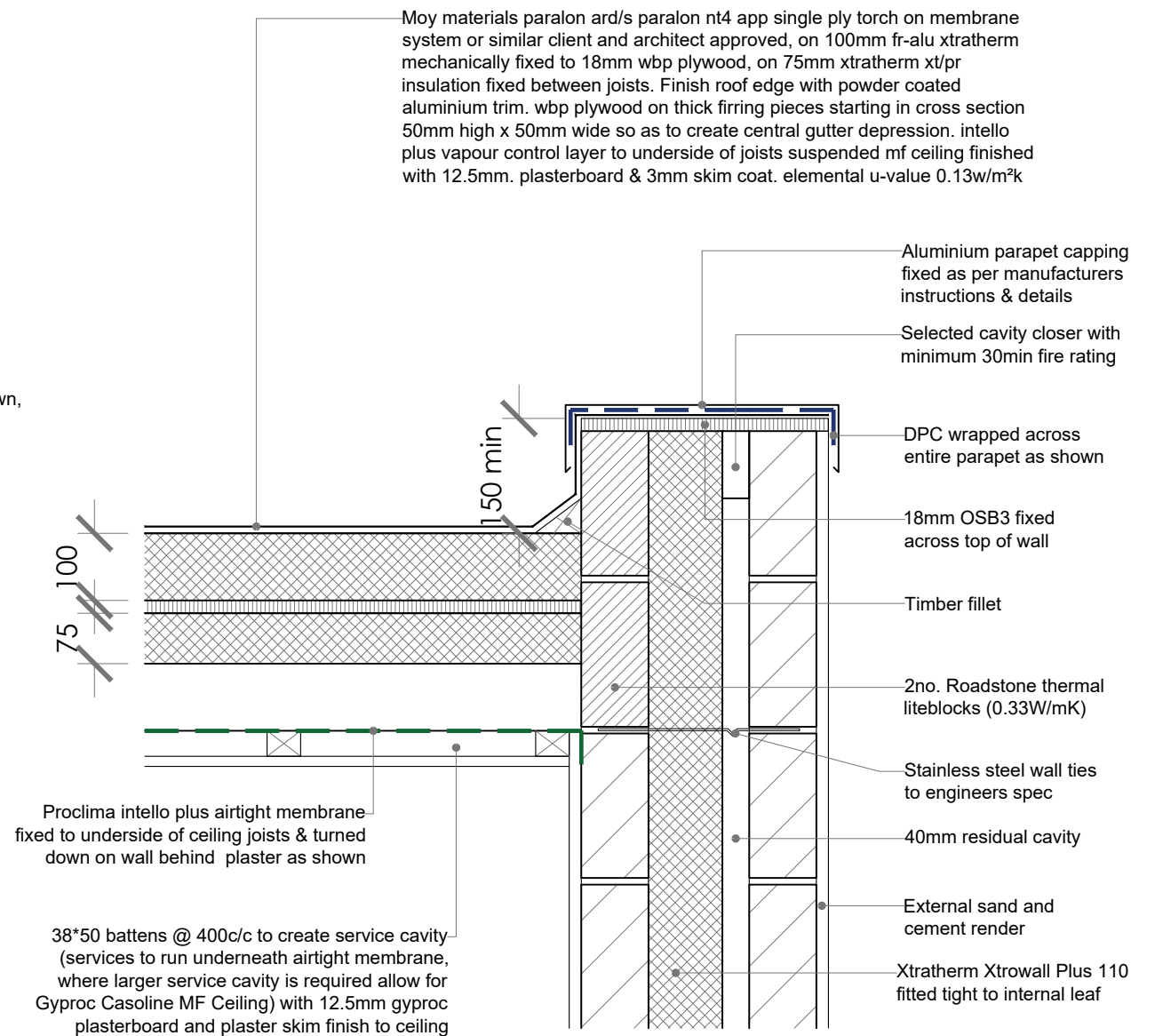
**A3**

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Sloped Roof (insulation in ceiling) Detail



Flat Roof Parapet Detail

<b>Client</b> Ciara McGowan and Margaret Holland 80 Bushy Park Road, Dublin 6	<b>Revisions</b> 	<b>STATUS OF DRAWING</b> <div style="border: 1px solid black; padding: 5px; text-align: center;">pricing</div>	<table border="1" style="width: 100%;"> <tr> <td colspan="2" data-bbox="1691 1722 2077 1795"><b>JOE FALLON DESIGN</b> ARCHITECTURE</td> <td data-bbox="2077 1722 2478 1795">First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford</td> <td data-bbox="2478 1722 2834 1795">P: 01-5143688 M: 087-2566808 P: 053-9377633</td> <td data-bbox="2834 1722 2923 1795" style="text-align: center;"><b>A3</b></td> </tr> <tr> <td colspan="2" data-bbox="1691 1795 2478 1837"><b>project</b> extension at 80 Bushy Park Road</td> <td colspan="3" data-bbox="2478 1795 2923 1837"><b>dwg no.</b> 22046 - DN-09</td> </tr> <tr> <td colspan="2" data-bbox="1691 1837 2478 1869"><b>drawing</b> preliminary construction details</td> <td colspan="3" data-bbox="2478 1837 2923 1869"></td> </tr> <tr> <td data-bbox="1691 1869 1929 1900"><b>job no.</b> 22046</td> <td data-bbox="1929 1869 2077 1900"><b>scale</b> 1:10</td> <td data-bbox="2077 1869 2359 1900"><b>date</b> 15.12.22</td> <td data-bbox="2359 1869 2567 1900"><b>drawn by</b> LK</td> <td data-bbox="2567 1869 2923 1900"><b>stage</b> pricing</td> </tr> <tr> <td colspan="5" data-bbox="1691 1900 2923 1942">           UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSJ         </td> </tr> </table>	<b>JOE FALLON DESIGN</b> ARCHITECTURE		First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>	<b>project</b> extension at 80 Bushy Park Road		<b>dwg no.</b> 22046 - DN-09			<b>drawing</b> preliminary construction details					<b>job no.</b> 22046	<b>scale</b> 1:10	<b>date</b> 15.12.22	<b>drawn by</b> LK	<b>stage</b> pricing	UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSJ				
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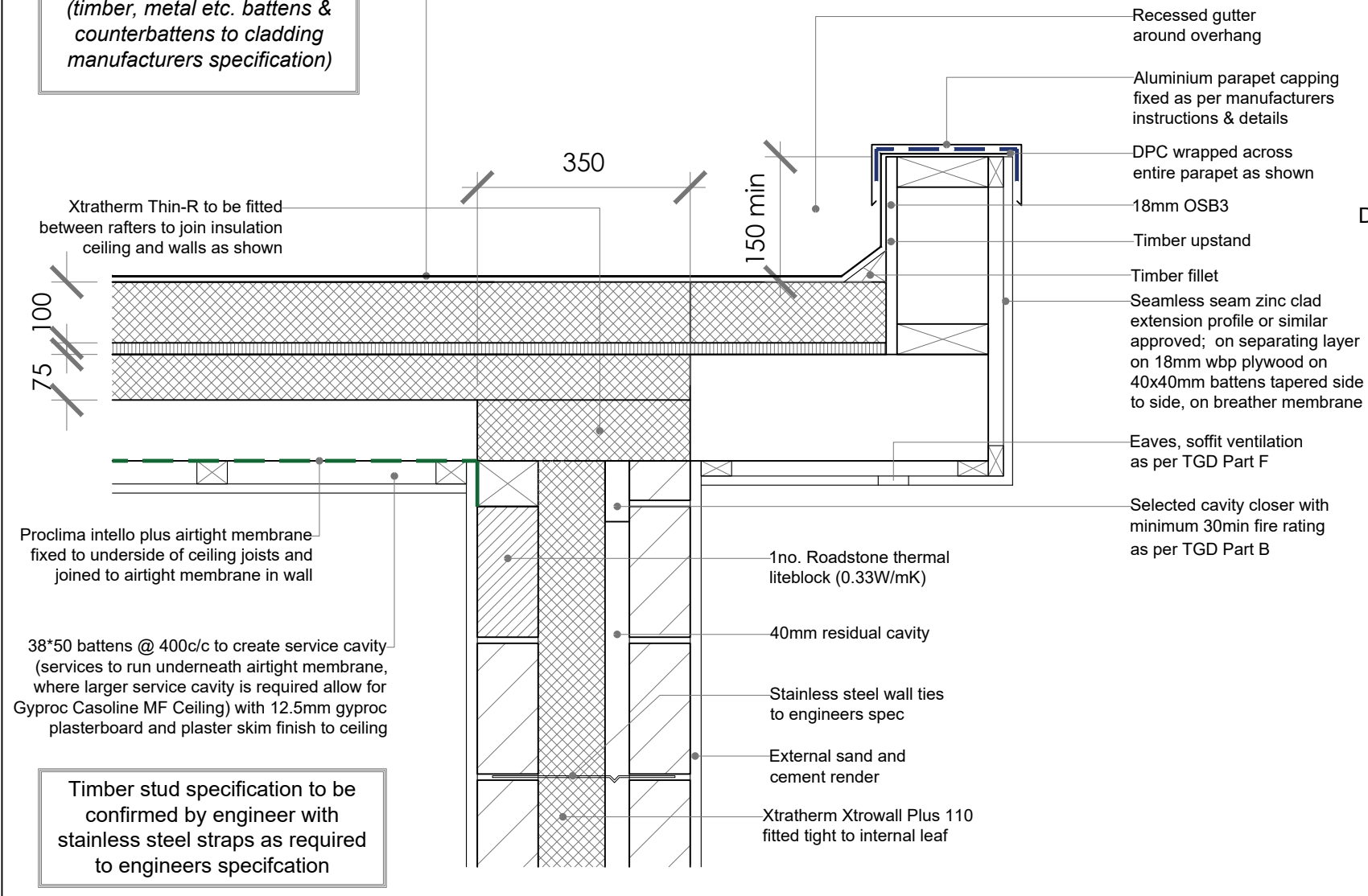
notes

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. **Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand.** Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used; if in doubt, refer to the harmonised technical specifications. All materials and products to be fitted as per manufacturers instructions.

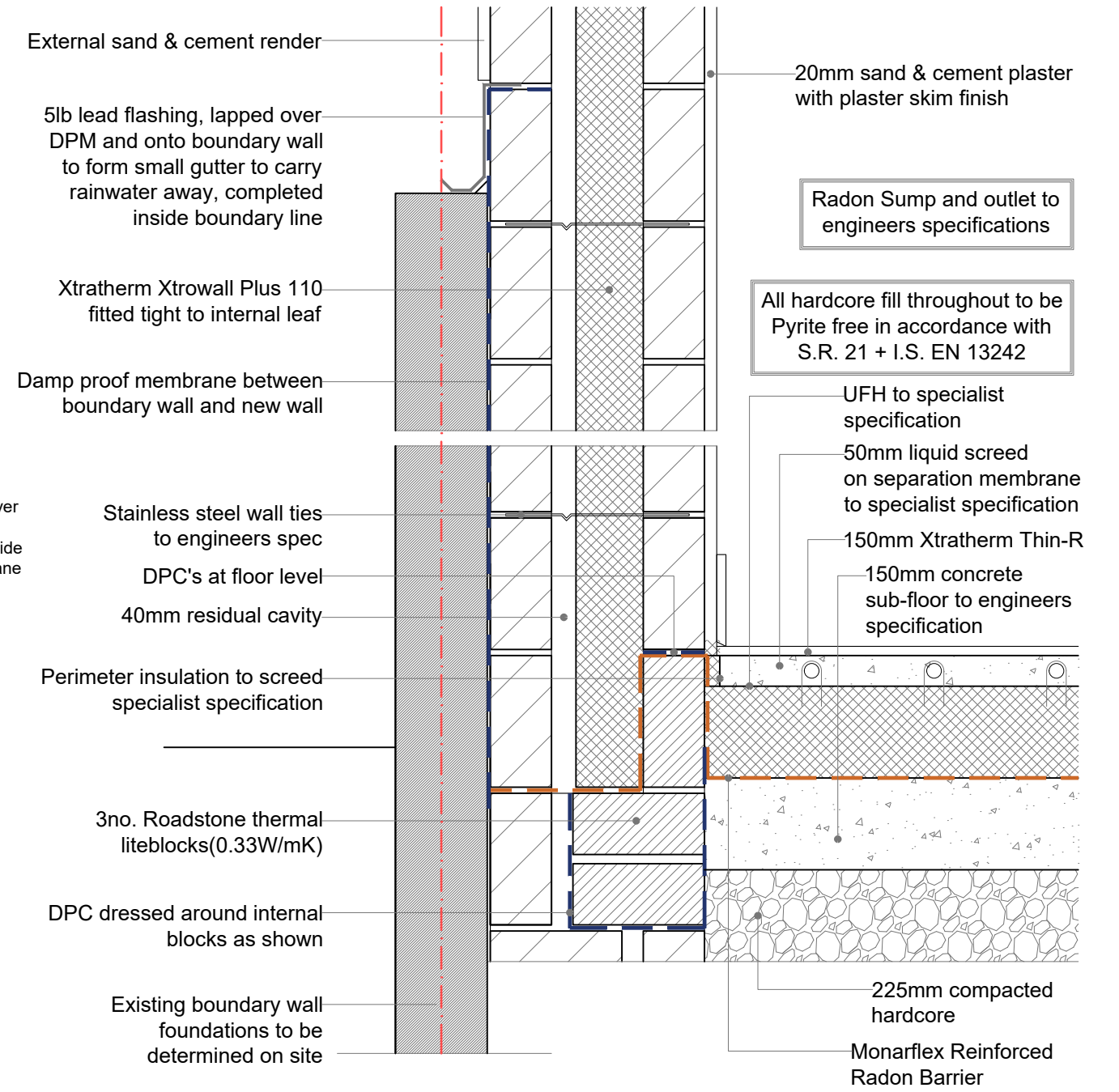
**Note:**  
Napped render finish on rib lath may be used in place of acrylic render.

For external cladding (timber, metal etc. battens & counterbattens to cladding manufacturers specification)

Moy materials paralon ard/s paralon nt4 app single ply torch on membrane system or similar client and architect approved, on 100mm fr-alu xtratherm mechanically fixed to 18mm wbp plywood, on 75mm xtratherm xt/pr insulation fixed between joists. Finish roof edge with powder coated aluminium trim. wbp plywood on thick furring pieces starting in cross section 50mm high x 50mm wide so as to create central gutter depression. intello plus vapour control layer to underside of joists suspended mf ceiling finished with 12.5mm. plasterboard & 3mm skim coat. elemental u-value 0.13w/m²k




Roof Overhang Detail



Boundary Wall Detail- Insulation above Floor Slab.

**Client**  
Ciara McGowan and Margaret Holland  
80 Bushy Park Road, Dublin 6

**Revisions**



Chartered Institute of Architectural Technologists

STATUS OF DRAWING  
pricing

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